



Inspect it once, inspect it right!

Serving Anacortes, San Juan Islands, Whidbey Island, Skagit, Whatcom & Snohomish Counties

Thanks very much for choosing **All Islands Home Inspections** to inspect this home for you! I appreciate your trust and business and hope to have exceeded your expectations. This **Report** is formatted with a **Summary Section** at the beginning of the **Report**- efficiently highlighting most on-site findings- followed by the detailed **Inspection Report** with additional information, pictures and videos where appropriate. The **Summary** is NOT the entire **Inspection Report**; you will need to scroll down to view the complete **Inspection Report** in its entirety.

If you have any questions or concerns after viewing the **Report**, please don't hesitate to call or email any time; my goal is to ensure you completely understand the home you are buying. Thanks again!

Inspection Report

7 Deye Lane, Eastsound, WA 98245



SE Elevation

Washington State Licensed Home Inspector #624



INVOICE

All Islands Home Inspections
P.O. Box 354
Eastsound, WA 98245
www.allislandsinspections.com
(360) 298-1163
Inspected By: Tim M. Hance

Inspection Date: 7/7/2018
Report ID: 20180707-7-Deye-Lane

Customer Info:	Inspection Property:
SJC Public Hospital District #3 dba Orcas Island Health Care District	7 Deye Lane Eastsound WA 98245
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
Commercial Building Inspection (6,000 Square Feet)	995.00	1	995.00
			Tax \$0.00
			Total Price \$995.00

Payment Method: Paid (Thank You!)
Payment Status: Paid (Thank You!)

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Date: 7/7/2018	Time: 10:00 AM	Report ID: 20180707-7-Deye-Lane
Property: 7 Deye Lane Eastsound WA 98245	Customer: SJC Public Hospital District #3 dba Orcas Island Health Care District	Real Estate Professional:

Dear Orcas Island Health Care District:

This is a well built commercial building. The biggest issues with this building, from my perspective, concern (a) the wood shake roof coverings are at, beyond or approaching the end of their serviceable life and are clearly due for repairs (replacement by a qualified roofing contractor will likely be advised), and (b) the four (4) heat pump heating/cooling systems, all original to the building (e.g., manufactured in 1991), are functioning beyond their statistical expected lives of 15-20 years and the building occupants complain of uneven heating/cooling distribution. Budgeting for replacement of these heating systems, likely in the very near future, is strongly advised. The remainder of the inspection was quite straightforward, I'm happy to report.

One of your questions concerned an historic plumbing leak. I inquired with Jen, who informed me that they had a plumbing leak within the concrete slab in 2015 and had it repaired by Morris Plumbing and Heating who, it appears, abandoned the plumbing infrastructure within the concrete slab and ran new plumbing lines in the attic, down to plumbing fixtures throughout the building. The repair appears satisfactory, I didn't note any signs of elevated moisture, plumbing leaks or deficiencies at the time of my inspection. I did note some exposed PEX water supply lines in the attic areas which I recommend insulating to safeguard against potential breakage during freezing weather conditions (see Section 8 below).

Finally, Jennifer Taylor provided a spread sheet detailing known issues to staff at the medical center building. I have attached this spread sheet in the "Attachments" section of this report, accessed in the "Table of Contents." This spread sheet is hereby incorporated into this report by reference.

As with all buildings, ongoing maintenance is required and improvements to the systems of the building will be needed over time. The improvements that are recommended in this Report are not considered unusual for a building of this age and location. Please remember that there is no such thing as a perfect building.

*For issues brought to light in the Report below, it is highly recommended that you have qualified contractors further evaluate prior to closing. Further evaluation by contractors, when advised, is important because (1) it completes your understanding of the issues and costs to repair and (2) it is common for other related issues to become apparent- that were not apparent during the building inspection- when the specialty contractor further investigates. In other words, a specialty contractor can further inspect specific issues- sometimes invasively if necessary- whereas the building inspection is necessarily, and by state law, non-invasive and visual only. Those items in the Report denoted as a **Repair**, **Major Issue**, or **Safety Issue** should be further evaluated by qualified contractors prior to closing to complete your understanding of the building.*

Finally, I highly recommend you, or an authorized representative, conduct a final "walk-through" of the building just before closing. In this way, you can ensure that nothing has changed since the time of inspection. I recommend looking in sink base cabinets for possible leaks and conducting a general "walk-through" looking for anything obvious. If you see an issue of concern, please feel free to call, text or email me for comment and advice. Once you own the building, all issues related to it and the costs therefor are no longer the responsibility of the Seller.

Please review the Report below in its entirety and let me know if you have any questions whatsoever. Thanks again for choosing All Islands Home Inspections!

Sincerely,

--Tim M. Hance, All Islands Home Inspections

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be carefully considered.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

CONVENTIONS USED IN THIS REPORT

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense. Further evaluation by a qualified contractor of the defect(s) noted in the report AND related system(s)- PRIOR TO CLOSING- is advised. If defects are noted in the roof system (or furnace, crawl space, attic, etc.), for instance, further evaluation of the noted defect(s) AND entire related system(s) is advised- prior to closing- because the specialty contractor may very well discover other related defects or items of significance with their specialized expertise. For a specific example and to be very clear, if "displaced, mechanically damaged roofing shingles" were noted as a necessary repair in the Home Inspection Report, I recommend a qualified roofing contractor further evaluate the noted defect AND the entire roof system, prior to closing.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention. Further evaluation by a qualified contractor of the defect(s) noted in the report AND related system(s)- PRIOR TO CLOSING- is advised. If defects are noted in the roof system (or furnace, crawl space, attic, etc.), for instance, further evaluation of the noted defect(s) AND entire related system(s) is advised- prior to closing- because the specialty contractor may very well discover other related defects or items of significance with their specialized expertise. For a specific example and to be very clear, if "displaced, mechanically damaged roofing shingles" were noted as a necessary repair in the Home Inspection Report, I recommend a qualified roofing contractor further evaluate the noted defect AND the entire roof system, prior to closing.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function. Further evaluation by a qualified contractor of the defect(s) noted in the report AND related system(s)- PRIOR TO CLOSING- is advised. If defects are noted in the roof system (or furnace, crawl space, attic, etc.), for instance, further evaluation of the noted defect(s) AND entire related system(s) is advised- prior to closing- because the specialty contractor may very well discover other related defects or items of significance with their specialized expertise. For a specific example and to be very clear, if "displaced, mechanically damaged roofing shingles" were noted as a necessary repair in the Home Inspection Report, I recommend a qualified roofing contractor further evaluate the noted defect AND the entire roof system, prior to closing.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Standards of Practice:
Washington State Standards of Practice,
ASHI American Society of Home Inspectors,
NACHI National Association of Certified
Home Inspectors

In Attendance:
Building Manager (Jen)

Building Type:
Commercial (1-Story)

Approximate age of building:
1991, Original Construction (per L&I electrical 65F
panel stamp); verify date of construction with

Temperature:

Weather:
Cloudy

Seller, Realtor and/or Assessor

Ground/Soil surface condition:

Damp

Rain in last 3 days:

Yes

Water Test:

No. Inspection of Water System is not within the scope of a home inspection. If this is of concern to you, please ask your Realtor for a water system contractor referral.

General Summary



All Islands Home Inspections

Customer

SJC Public Hospital District #3 dba Orcas Island Health Care District

Address

7 Deye Lane
Eastsound WA 98245

The following items or discoveries indicate that these systems or components **do not function as intended** or **could present a safety issue**. These items warrant further investigation by a specialist, or requires subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report follows and may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected

(1) **Major Issue:** The wood shake roof coverings are in marginal-to-poor condition, indicating that replacement will likely be necessary within the next 1-5 years. A significant amount of deteriorated wood shakes were noted, some of which are displaced, requiring repair as soon as practical. Numerous prior repairs have been undertaken over time, some of which appear recent. Generally, as a rule of thumb, when 20-25% of the roof coverings require repair, replacement is undertaken. The roof coverings are definitely close to requiring replacement; most roofing contractors would likely advise replacement as soon as practical. I was not able to safely or reasonably traverse the roof at the time of inspection as it rained last night and the roof coverings were very slippery; accordingly, I viewed the roof from a ladder at the eaves. See attached representative pictures documenting the roof at the time of inspection.

(2) **Repair:** The roof coverings are starting to show signs of organic growth. Treating, not pressure washing, is recommended to extend the useful life of the roof coverings and to prevent moisture intrusion. Visual inspection of the roof coverings under moss growth are necessarily limited. See attached picture.

(3) **FYI:** Treatment of the roof coverings on a semi-annual basis as a preventative measure against moss growth is advised.

(4) **Repair:** Tree limbs and/or vegetative growth that are in contact with roof or hanging near the roof should be trimmed to prevent mechanical damage and to extend the useful life of the roof coverings. This was noted on all sides of the building. See attached pictures.

1.1 FLASHINGS

Inspected

Repair: Rusting/corroding roof flashing details were noted, in particular at valleys; flashing details should be replaced when the roof coverings are replaced. In the interim, if you intend to defer roof replacement, painting rusting/corroding roof flashing details should extend serviceable life.

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected

Repair: Organic (moss) growth is presenting at several of the skylights, rendering them vulnerable to water intrusion; no evidence of water intrusion was noted at the time of inspection.

1.3 ROOF DRAINAGE SYSTEMS**Inspected**

Repair: The gutters are full of debris in areas and need to be cleaned. Keeping your gutters clean will ensure proper function and protect the exterior envelope of the building from water intrusion. See attached picture.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM**Inspected**

(1) The exterior elements of this building were in satisfactory, generally well maintained, condition at the time of inspection. There were no major defects or deficiencies discovered at the time of inspection.

(2) **Repair:** The exterior paint/stain is approaching the end of its serviceable life, as evidenced by characteristic "chalking"/weathering presenting on some of the exterior surfaces. See attached pictures. Budgeting for new paint/stain in the near future is advised.

(3) **Potential Security Issue:** There are four (4) exterior attic access hatches around the perimeter of the building, access hatches for which are unsecured. Once one enters the exterior attic areas, there is a sheet rock wall, but a simple hand tool (sheet rock saw) would seem to provide easy access to the interior of the building. I recommend securing the exterior attic access hatches for improved security.

2.1 DOORS (Exterior)**Inspected**

Repair: Staining or otherwise sealing exposed wood at the two (2) western exterior doors is advised to prevent water damage and extend serviceable life. Additionally, the side west exterior door rubs against its self-closing hinge, putting the hinge and door at risk of mechanical damage. See attached pictures.

2.2 WINDOWS**Inspected**

(1) **Improve:** Some of the window panes in this building appear to have lost their seals and exhibit the characteristic "fogged" appearance; fogged window panes are generally considered a cosmetic issue in the home inspection industry. This was noted at a SE picture window; many of the windows were dirty at the time of inspection which made making definitive determinations difficult (this was the only window noted that is clearly "fogged"). See attached picture.

(2) **Repair:** An eastern picture window is rock-chipped. See attached picture.

**2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS
(With respect to their effect on the condition of the building)****Inspected**

Repair: Landscaping elements and vegetative growth should be trimmed away from the building exterior to prevent moisture and insect damage. This was noted in particular at the southern exterior. Eighteen inches clearance is recommended; when not practical, avoid direct contact between vegetative growth and the building envelope. Visual inspection of the exterior elements is restricted by landscaping elements that are in direct contact with and obscuring the building's exterior from visual inspection.

2.5 EAVES, SOFFITS AND FASCIAS**Inspected**

Repair: A few (minor) loose soffit vent screens were noted at the southern and northern eaves. See attached pictures. Securing loose vent screens is advised to help prevent bird/vermin intrusion into the attic areas.

3. Interiors

3.0 CEILINGS

Inspected

(1) The interior elements of this building were in satisfactory, well maintained, condition at the time of inspection. No visible signs of major defects, leaks to the interior, or significant structural settling were noted at the time of inspection. This is a well maintained building.

(2) **FYI:** Water stains at some of the ceiling tiles are historic, presumably from an historic leak at the heat pump condensate line in the attic. Probing with a moisture meter did NOT indicate elevated moisture at the time of inspection.

3.1 WALLS

Inspected

Recommended / FYI: Storage items and/or furnishings within the building necessarily restricted the interior inspection somewhat. As stated in the introductory paragraph above, I highly recommend conducting a final "walk-through," prior to closing. If you see any issues of concern, please bring them to my attention so I can comment and amend the Report if necessary. Conditions can, and sometimes do, change with time which is why a final "walk-through" is highly recommended.

4. Structural Components

4.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Inspected

Structurally, this building appears to be in satisfactory condition. There was no evidence of substantial structural settling noted on the exterior, interior or attic areas of this building at the time of inspection.

4.5 ROOF STRUCTURE AND ATTIC

Inspected

FYI: The attic is access from four (4) hatches at the exterior (three (3) at the southern exterior and one (1) at the eastern exterior). There is also an access hatch in the western locked storage room ceiling. Within the interior, there are four hatches (all, except one, are labeled with red placards). The northern attic access hatch has pencil markings adjacent the ceiling tile indicating which panel to remove. See attached pictures.

5. Plumbing System

5.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected

The plumbing system for this building, both supply and waste, was in satisfactory condition at the time of inspection and appears professionally installed. There were no signs of major defects or leaks at the time of inspection.

5.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected

(1) **Repair:** Water sprays horizontally from the lab sink faucet in Exam Room 3, also labeled Room 108.

(2) **FYI:** Inspection of commercial fire alarm systems is beyond the scope of a home inspection; if this is of concern to you, I recommend further evaluation by a qualified contractor. Typically, these systems are annually inspected and repaired; please consult with Seller about maintenance records.

(3) **Repair:** Water was intentionally turned off at the sink supply valves to the XRAY laboratory sink for reasons unknown.

(4) **Repair:** I recommend you insulate exposed water supply pipes in the attic areas to help prevent breakage during freezing weather conditions. See attached representative pictures.

5.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS**Inspected**

(1) **Repair:** The hot water heater re-circulating pump did not function at the time of inspection.

(2) **Improve:** A 50-gallon electric water heater appears to be the only source of hot water for this large commercial building; I recommend you consider increasing the size of this water heater to handle potential demand. The water heater appears to have been manufactured in 2009 and is, therefore, approaching its statistical expected life of 7-12 years; budgeting for replacement is advised.

5.3 MAIN WATER SHUT-OFF DEVICE (Describe location)**Inspected**

Street Meter Valve; verify shutoff valve location(s) with Seller, Building Manager and/or E.W.U.A.

5.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)**Inspected**

Repair: I recommend cutting vegetative overgrowth from around the propane tank at the northern exterior.

5.5 MAIN FUEL SHUT OFF (Describe Location)**Inspected**

Propane Tank @ North Exterior. See attached picture.

6. Electrical System**6.0 SERVICE ENTRANCE CONDUCTORS****Inspected**

The electrical panels are well arranged, appear professionally installed, showed no evidence of electrical events or installation deficiencies, and were in satisfactory condition at the time of inspection. A thermal scan of the panels did not reveal any elevated temperatures or thermal issues at the time of inspection. Interior inspection of commercial electrical panels is the purview of a commercial electrician; while I didn't note any electrical issues whatsoever at the time of inspection and all panels appear professionally installed, if this is of concern to you I recommend further evaluation of the panel interiors by a qualified commercial electrician.

6.2 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)**Inspected**

(1) **Repair / FYI:** Inspection of electric generator systems is beyond the scope of the home inspection. I recommend you inquire with the seller as to when the generator system was last serviced. Additionally, I recommend that you verify with the seller as to their routine maintenance protocol for the system. If this is of concern to you, I recommend further evaluation, service and repair as necessary by a qualified contractor.

(2) **Repair:** A recessed light fixture in the main lobby bathroom did not function at the time of inspection. This is typically due to a blown or missing light bulb. I recommend installing a new light bulb to verify proper fixture function. See attached picture.

6.4 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)**Inspected**

Safety Issue: The outlet to the RIGHT of the lobby staff break room sink is not GFCI protected; outlets within six (6) feet of a water source should be GFCI protected for safety reasons.

6.5 LOCATION OF MAIN AND DISTRIBUTION PANELS**Inspected**

Main Panel and Subpanels in West Exterior Electrical Room AND Subpanel in XRAY Room. See attached pictures.

6.6 CARBON MONOXIDE DETECTORS**Not Inspected**

Inquire: I recommend verifying that the smoke/fire alarm system also detects carbon monoxide for improved safety.

7. Heating / Central Air Conditioning

7.0 HEATING EQUIPMENT

Inspected

Major Issue: The four (4) American Standard heat pump heating/cooling systems, all original to the building (e.g., manufactured in 1991), are well beyond their statistical expected lives of 15-20 years. I highly recommend you have these appliances fully serviced prior to closing by a qualified HVAC contractor and that you budget for replacement, likely in the very near future. Additionally, concrete pads under some of the exterior compressor-condenser units appear sloped towards the building, where rusting/corroding metal flashing details were noted. See attached representative pictures, together with data plate information.

8. Insulation and Ventilation

8.0 INSULATION IN ATTIC

Inspected

(1) This appears to be a well insulated and ventilated building, with insulation and ventilation levels commensurate for a building of this age and type of construction.

(2) **Improve:** Insulating and sealing (weather stripping) the attic access hatches is advised for much improved thermal efficiency and reduced heating/cooling costs.

(3) **Repair:** As stated previously, insulating exposed PEX water supply piping in the attic areas is advised to help safeguard against potential breakage during freezing weather conditions. Some of the attic PEX water supply piping is insulated, some pipes are not.

8.4 VENTING SYSTEMS (Kitchens, baths and laundry)

Inspected

(1) **Repair:** The northern bathroom vent fan doesn't function; the switch has a sign indicating not to use. See attached pictures.

(2) **Repair:** The shower room vent fan ducting appears to discharge directly into the attic; while no signs of mold growth or elevated moisture were noted at the time of inspection, I recommend extending vent ducting to the exterior. See attached picture.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Tim M. Hance

1. Roofing

During the course of the home inspection, I will observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. I will also: Describe the type of roof covering materials; and Report the methods used to observe the roofing. Pursuant to our Agreement and the Standards of Practice, I am not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

<p>Roof Covering: Wood shakes</p>	<p>Viewed roof covering from: Ground Ladder</p>	<p>Sky Light(s): Three+ Fixed</p>
<p>Chimney (exterior): N/A</p>	<p>Roof Drainage System: Aluminum Downspouts Discharge Above & Below Grade</p>	<p>Condition of Roof Coverings: Marginal Poor Extra Info : Major Issue</p>
<p># of Roof Layers (Approximate): 1+</p>		

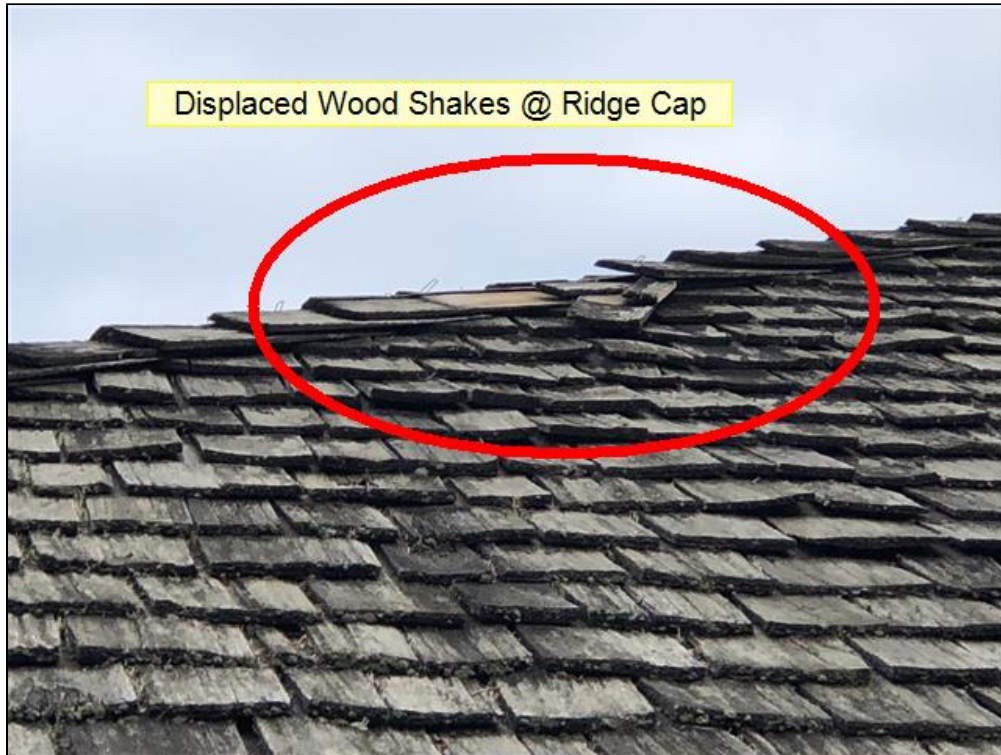
Items

1.0 ROOF COVERINGS
Comments: Inspected

(1) **Major Issue:** The wood shake roof coverings are in marginal-to-poor condition, indicating that replacement will likely be necessary within the next 1-5 years. A significant amount of deteriorated wood shakes were noted, some of which are displaced, requiring repair as soon as practical. Numerous prior repairs have been undertaken over time, some of which appear recent. Generally, as a rule of thumb, when 20-25% of the roof coverings require repair, replacement is undertaken. The roof coverings are definitely close to requiring replacement; most roofing contractors would likely advise replacement as soon as practical. I was not able to safely or reasonably traverse the roof at the time of inspection as it rained last night and the roof coverings were very slippery; accordingly, I viewed the roof from a ladder at the eaves. See attached representative pictures documenting the roof at the time of inspection.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



1.0 Item 6(Picture)



1.0 Item 7(Picture)



1.0 Item 8(Picture)



1.0 Item 9(Picture)



1.0 Item 10(Picture)



1.0 Item 11(Picture)



1.0 Item 12(Picture)

(2) **Repair:** The roof coverings are starting to show signs of organic growth. Treating, not pressure washing, is recommended to extend the useful life of the roof coverings and to prevent moisture intrusion. Visual inspection of the roof coverings under moss growth are necessarily limited. See attached picture.



1.0 Item 13(Picture)

(3) **FYI:** Treatment of the roof coverings on a semi-annual basis as a preventative measure against moss growth is advised.

(4) **Repair:** Tree limbs and/or vegetative growth that are in contact with roof or hanging near the roof should be trimmed to prevent mechanical damage and to extend the useful life of the roof coverings. This was noted on all sides of the building. See attached pictures.



1.0 Item 14(Picture)



1.0 Item 15(Picture)



1.0 Item 16(Picture)

1.1 FLASHINGS

Comments: Inspected

Repair: Rusting/corroding roof flashing details were noted, in particular at valleys; flashing details should be replaced when the roof coverings are replaced. In the interim, if you intend to defer roof replacement, painting rusting/corroding roof flashing details should extend serviceable life.

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

Repair: Organic (moss) growth is presenting at several of the skylights, rendering them vulnerable to water intrusion; no evidence of water intrusion was noted at the time of inspection.

1.3 ROOF DRAINAGE SYSTEMS

Comments: Inspected

Repair: The gutters are full of debris in areas and need to be cleaned. Keeping your gutters clean will ensure proper function and protect the exterior envelope of the building from water intrusion. See attached picture.



1.3 Item 1(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

As your home inspector, I will observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. We also will describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. Pursuant to our Agreement and the Standards of Practice, we are not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. We are also not allowed to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:

Board & Batten

Siding Material:

T-111

Wood

Exterior Entry Doors:

Wood

Driveway:

Asphalt

Parking lot

Windows:

Aluminum

Double Pane (Thermal / Insulated)

Horizontal Sliders

Picture

Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected

(1) The exterior elements of this building were in satisfactory, generally well maintained, condition at the time of inspection. There were no major defects or deficiencies discovered at the time of inspection.

(2) **Repair:** The exterior paint/stain is approaching the end of its serviceable life, as evidenced by characteristic "chalking"/weathering presenting on some of the exterior surfaces. See attached pictures. Budgeting for new paint/stain in the near future is advised.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

(3) **Potential Security Issue:** There are four (4) exterior attic access hatches around the perimeter of the building, access hatches for which are unsecured. Once one enters the exterior attic areas, there is a sheet rock wall, but a simple hand tool (sheet rock saw) would seem to provide easy access to the interior of the building. I recommend securing the exterior attic access hatches for improved security.

2.1 DOORS (Exterior)

Comments: Inspected

Repair: Staining or otherwise sealing exposed wood at the two (2) western exterior doors is advised to prevent water damage and extend serviceable life. Additionally, the side west exterior door rubs against its self-closing hinge, putting the hinge and door at risk of mechanical damage. See attached pictures.

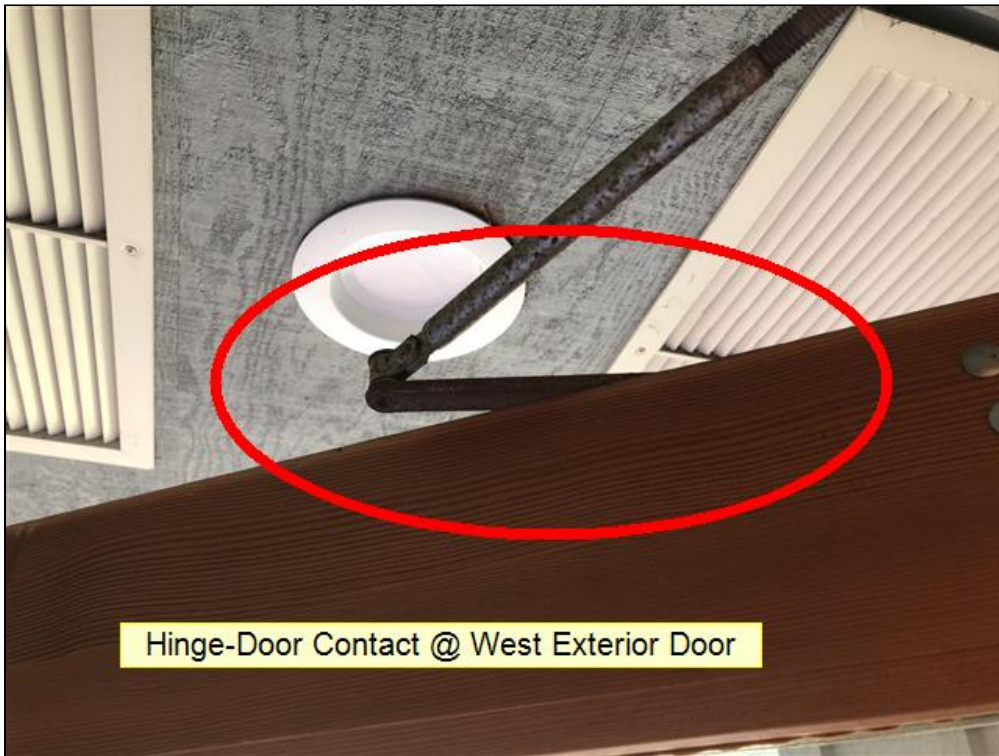


2.1 Item 1(Picture)



Stain/Seal Exterior Wood Main Entry Door

2.1 Item 2(Picture)



Hinge-Door Contact @ West Exterior Door

2.1 Item 3(Picture)

2.2 WINDOWS

Comments: Inspected

(1) **Improve:** Some of the window panes in this building appear to have lost their seals and exhibit the characteristic "fogged" appearance; fogged window panes are generally considered a cosmetic issue in the

home inspection industry. This was noted at a SE picture window; many of the windows were dirty at the time of inspection which made making definitive determinations difficult (this was the only window noted that is clearly "fogged"). See attached picture.



2.2 Item 1(Picture)

(2) **Repair:** An eastern picture window is rock-chipped. See attached picture.



2.2 Item 2(Picture)

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected

Repair: Landscaping elements and vegetative growth should be trimmed away from the building exterior to prevent moisture and insect damage. This was noted in particular at the southern exterior. Eighteen inches clearance is recommended; when not practical, avoid direct contact between vegetative growth and the building envelope. Visual inspection of the exterior elements is restricted by landscaping elements that are in direct contact with and obscuring the building's exterior from visual inspection.



2.4 Item 1(Picture)

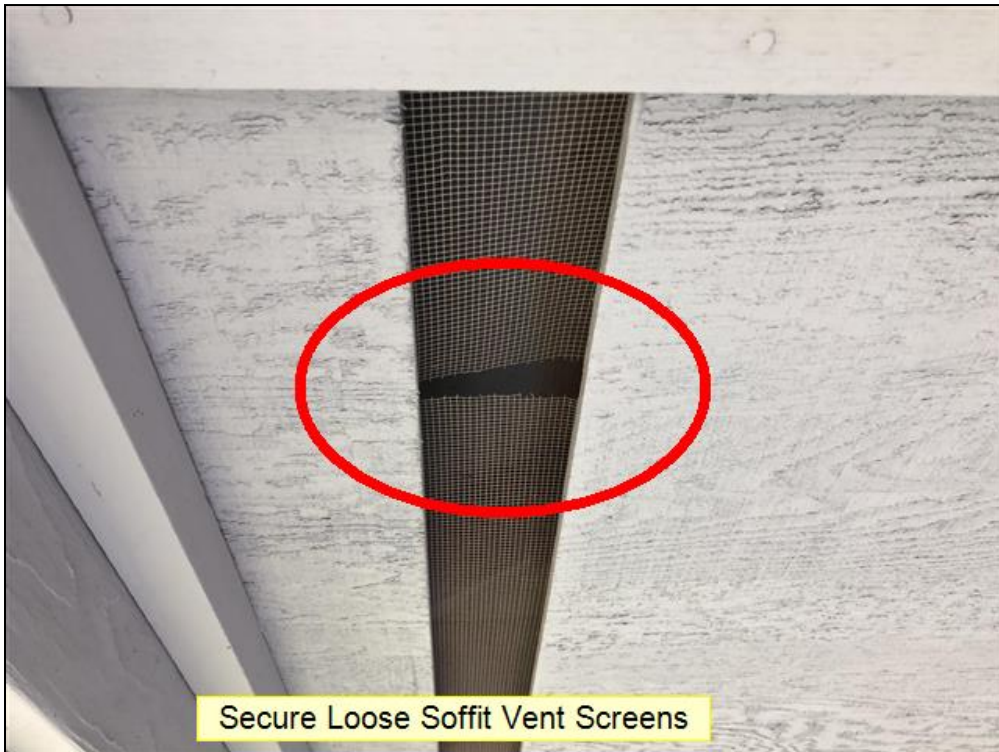


2.4 Item 2(Picture)

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected

Repair: A few (minor) loose soffit vent screens were noted at the southern and northern eaves. See attached pictures. Securing loose vent screens is advised to help prevent bird/vermin intrusion into the attic areas.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Interiors

During the course of the home inspection, I will observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. I will also: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. Pursuant to our Agreement and the Standards of Practice, I am not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Storage items and furnishings necessarily restrict the interior inspection somewhat. It is always advised that a final walk-through be conducted once all the Seller's personal belongings have been removed.

Styles & Materials

Ceiling Materials:

Ceiling Tile
Sheet rock/Drywall

Wall Material:

Sheet rock/Drywall

Floor Covering(s):

Carpet
Laminated T&G
Linoleum
Tile

Interior Doors:

Solid

Cabinetry:

Wood

Countertop:

Laminate

Items

3.0 CEILINGS

Comments: Inspected

(1) The interior elements of this building were in satisfactory, well maintained, condition at the time of inspection. No visible signs of major defects, leaks to the interior, or significant structural settling were noted at the time of inspection. This is a well maintained building.

(2) **FYI:** Water stains at some of the ceiling tiles are historic, presumably from an historic leak at the heat pump condensate line in the attic. Probing with a moisture meter did NOT indicate elevated moisture at the time of inspection.

3.1 WALLS

Comments: Inspected

Recommended / FYI: Storage items and/or furnishings within the building necessarily restricted the interior inspection somewhat. As stated in the introductory paragraph above, I highly recommend conducting a final "walk-through," prior to closing. If you see any issues of concern, please bring them to my attention so I can comment and amend the Report if necessary. Conditions can, and sometimes do, change with time which is why a final "walk-through" is highly recommended.

3.2 FLOORS

Comments: Inspected

3.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Not Present

3.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

3.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

3.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Structural Components

During the course of the home inspection, I will observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. I will describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. I will also: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. Pursuant to our Agreement and the Standards of Practice, I am not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

<p>Foundation: Concrete Concrete Slab</p>	<p>Method used to observe Crawlspace: Concrete Slab No crawlspace</p>	<p>Floor Structure: Concrete Slab</p>
<p>Wall Structure: 2X Wood Studs 2 X 6 Wood</p>	<p>Columns or Piers: 6x Posts Wood piers</p>	<p>Ceiling Structure: 6x Beams 6" or better Engineered Wood Truss</p>
<p>Roof Structure: 6x Beams 6x Posts Engineered wood trusses Plywood Sheathing</p>	<p>Roof-Type: Gable Hip</p>	<p>Method used to observe attic: From Hatch</p>
<p>Attic info: Scuttle hole</p>		

Items

4.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Comments: Inspected

Structurally, this building appears to be in satisfactory condition. There was no evidence of substantial structural settling noted on the exterior, interior or attic areas of this building at the time of inspection.

4.1 WALLS (Structural)

Comments: Inspected

4.2 COLUMNS OR PIERS

Comments: Inspected

4.3 FLOORS (Structural)

Comments: Inspected

4.4 CEILINGS (structural)

Comments: Inspected

4.5 ROOF STRUCTURE AND ATTIC

Comments: Inspected

FYI: The attic is access from four (4) hatches at the exterior (three (3) at the southern exterior and one (1) at the eastern exterior). There is also an access hatch in the western locked storage room ceiling. Within the

interior, there are four hatches (all, except one, are labeled with red placards). The northern attic access hatch has pencil markings adjacent the ceiling tile indicating which panel to remove. See attached pictures.



4.5 Item 1(Picture)



4.5 Item 2(Picture)



4.5 Item 3(Picture)



4.5 Item 4(Picture)



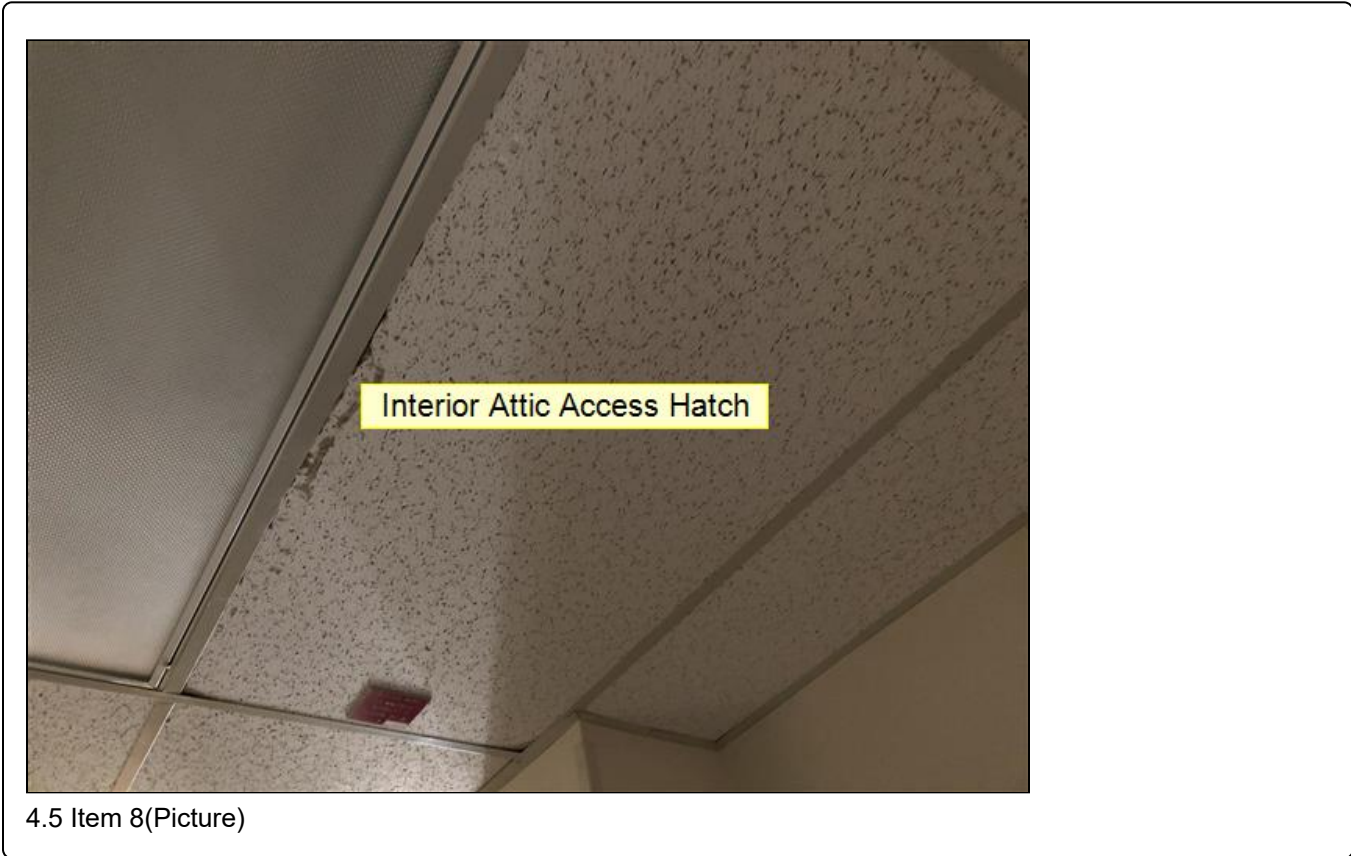
4.5 Item 5(Picture)



4.5 Item 6(Picture)



4.5 Item 7(Picture)



The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System

During the course of the home inspection, I will observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. I will describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. I will also operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. Pursuant to our Agreement and the Standards of Practice, I am not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

<p>Water Source: Public</p>	<p>Water Filters: (We do not inspect filtration systems)</p>	<p>Plumbing Water Supply (into home): Not visible</p>
<p>Plumbing Water Distribution (inside home): Copper PEX</p>	<p>Plumbing Waste: ABS</p>	<p>Water Heater Power Source: Electric</p>
<p>Water Heater Capacity: 50 Gallon (2-3 people)</p>	<p>Manufacturer: BRADFORD-WHITE</p>	<p>Hot Water Temperature: 120F or Less Maintain hot water temperature at 120F to avoid accidental scalding, for optimal efficiency, and to extend the serviceable life of the water heater.</p>

Items

5.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

The plumbing system for this building, both supply and waste, was in satisfactory condition at the time of inspection and appears professionally installed. There were no signs of major defects or leaks at the time of inspection.

5.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

(1) **Repair:** Water sprays horizontally from the lab sink faucet in Exam Room 3, also labeled Room 108.

(2) **FYI:** Inspection of commercial fire alarm systems is beyond the scope of a home inspection; if this is of concern to you, I recommend further evaluation by a qualified contractor. Typically, these systems are annually inspected and repaired; please consult with Seller about maintenance records.

(3) **Repair:** Water was intentionally turned off at the sink supply valves to the XRAY laboratory sink for reasons unknown.

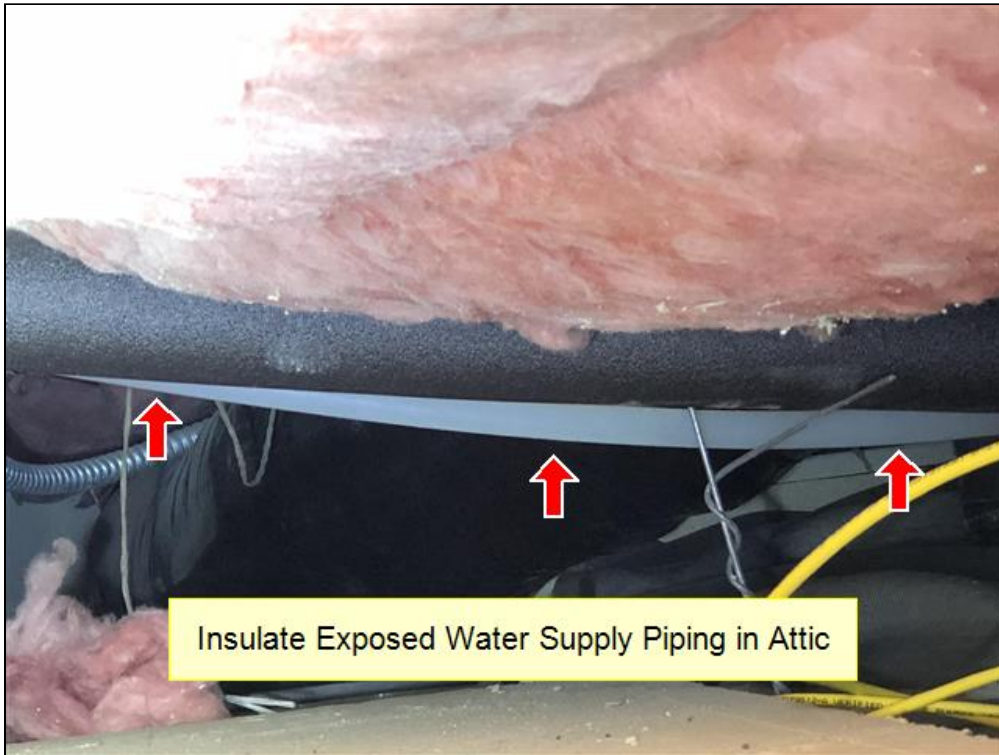


5.1 Item 1(Picture)

(4) **Repair:** I recommend you insulate exposed water supply pipes in the attic areas to help prevent breakage during freezing weather conditions. See attached representative pictures.



5.1 Item 2(Picture)



5.1 Item 3(Picture)



5.1 Item 4(Picture)



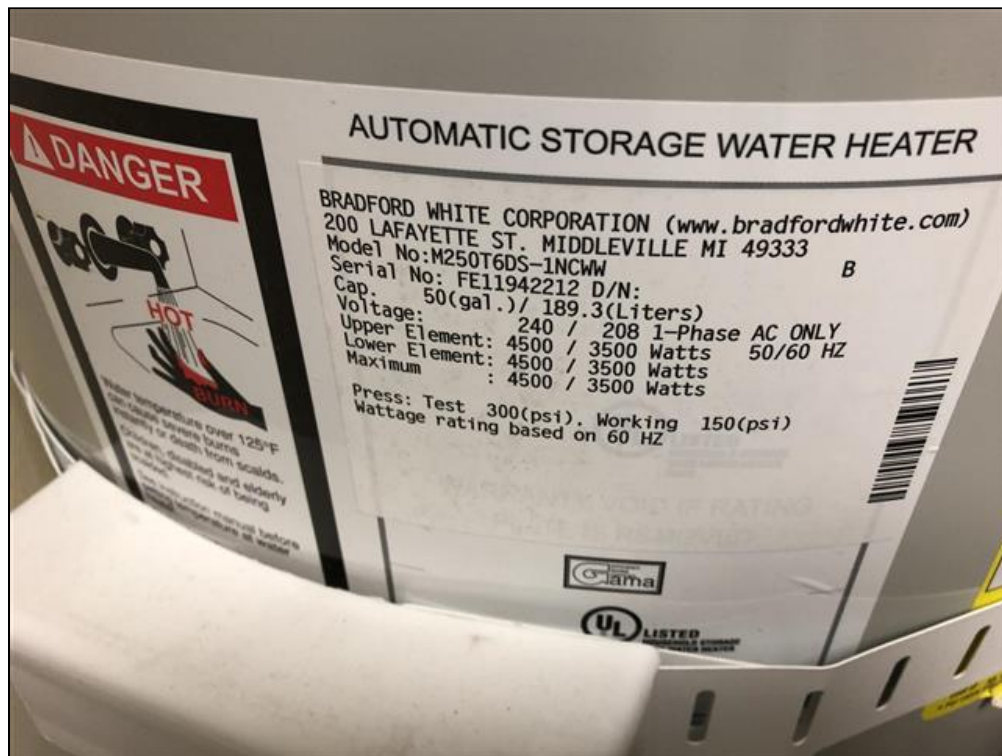
5.1 Item 5(Picture)

5.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected

(1) **Repair:** The hot water heater re-circulating pump did not function at the time of inspection.

(2) **Improve:** A 50-gallon electric water heater appears to be the only source of hot water for this large commercial building; I recommend you consider increasing the size of this water heater to handle potential demand. The water heater appears to have been manufactured in 2009 and is, therefore, approaching its statistical expected life of 7-12 years; budgeting for replacement is advised.



5.2 Item 1(Picture)

5.3 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected

Street Meter Valve; verify shutoff valve location(s) with Seller, Building Manager and/or E.W.U.A.

5.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

Repair: I recommend cutting vegetative overgrowth from around the propane tank at the northern exterior.

5.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

Propane Tank @ North Exterior. See attached picture.



5.5 Item 1(Picture)

5.6 SUMP PUMP

Comments: Not Present

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Electrical System

I observe the following during the course of a home inspection: service entrance conductors; service equipment, grounding equipment, main over current device, and main and distribution panels; amperage and voltage ratings of the service; branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; the operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; the operation of ground fault circuit interrupters; and smoke detectors. We describe: service amperage and voltage; service entry conductor materials; service type as being overhead or underground; and location of main and distribution panels. We will report any observed solid aluminum branch circuit wiring. We will report on the presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. Pursuant to our Agreement and Standards of Practice, we are not required to: insert any tool, probe, or testing device inside the panels; test or operate any over current device except ground fault circuit interrupters; dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or observe low voltage systems; security system devices, heat detectors, or carbon monoxide detectors; telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:

240 Volts
Aluminum
Below ground

Panel capacity:

600 AMP

Panel Type:

Circuit breakers

Electric Panel Manufacturer:

CUTLER HAMMER

Branch wire 15 and 20 AMP:

Copper

Wiring Methods:

Not Visible
Romex

Items

6.0 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

The electrical panels are well arranged, appear professionally installed, showed no evidence of electrical events or installation deficiencies, and were in satisfactory condition at the time of inspection. A thermal scan of the panels did not reveal any elevated temperatures or thermal issues at the time of inspection. Interior inspection of commercial electrical panels is the purview of a commercial electrician; while I didn't note any electrical issues whatsoever at the time of inspection and all panels appear professionally installed, if this is of concern to you I recommend further evaluation of the panel interiors by a qualified commercial electrician.

6.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Comments: Inspected

6.2 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Comments: Inspected

(1) **Repair / FYI:** Inspection of electric generator systems is beyond the scope of the home inspection. I recommend you inquire with the seller as to when the generator system was last serviced. Additionally, I recommend that you verify with the seller as to their routine maintenance protocol for the system. If this is of concern to you, I recommend further evaluation, service and repair as necessary by a qualified contractor.



6.2 Item 1(Picture)

(2) **Repair:** A recessed light fixture in the main lobby bathroom did not function at the time of inspection. This is typically due to a blown or missing light bulb. I recommend installing a new light bulb to verify proper fixture function. See attached picture.



6.2 Item 2(Picture)

6.3 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected

6.4 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected

Safety Issue: The outlet to the RIGHT of the lobby staff break room sink is not GFCI protected; outlets within six (6) feet of a water source should be GFCI protected for safety reasons.

6.5 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

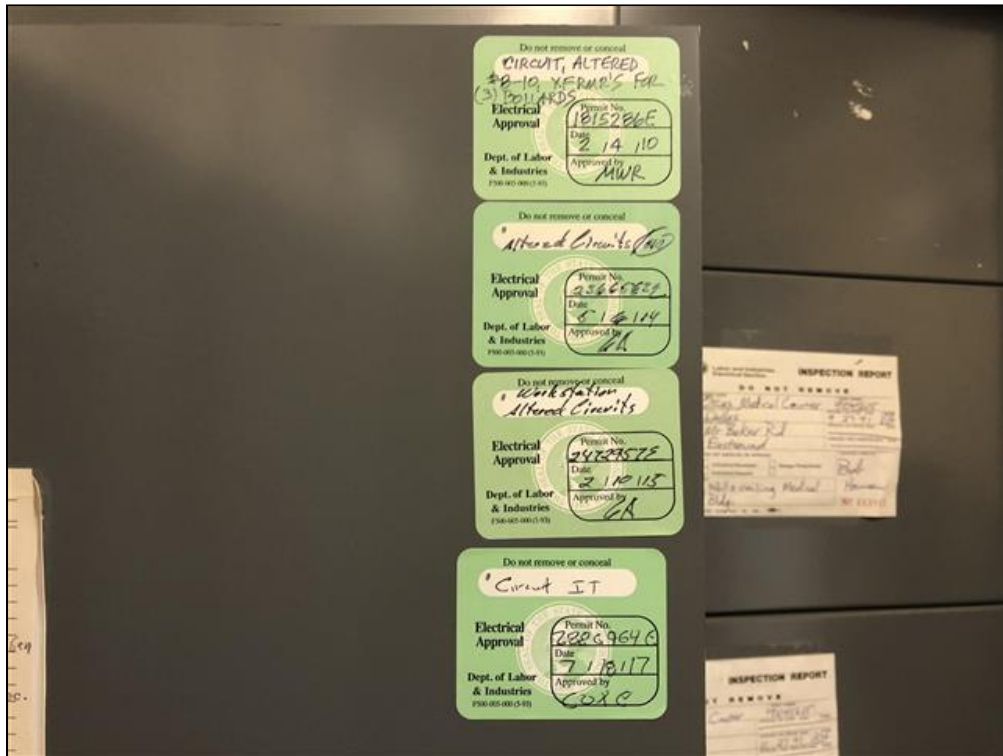
Main Panel and Subpanels in West Exterior Electrical Room AND Subpanel in XRAY Room. See attached pictures.



6.5 Item 1(Picture)



6.5 Item 2(Picture)



6.5 Item 3(Picture)

Labor and Industries Electrical Section INSPECTION REPORT

DO NOT REMOVE

PREMISES OWNER: Orcas Medical Center PERMIT NUMBER: 91045615

ELECTRICAL CONTRACTOR: Dallas APPROVED FOR COVER (Date) (Initial): 9.27.91 BH

PREMISES ADDRESS: Mt Baker Rd APPROVED FOR SERVICE (Date) (Initial): _____

CITY: Eastsound APPROVED—FINAL INSPECTION (Date) (Initial): _____

AREAS NOT INSPECTED OR APPROVED:

Unfinished Basement Garage / Pump House

Unfinished Upstairs

NOTES: Wall & ceiling Medical Bldg.

ELECTRICAL INSPECTOR: Bob Hansen

Nº 613813

F500-005-000 Inspection Report 7-86 -1026

6.5 Item 4(Picture)

Labor and Industries Electrical Section INSPECTION REPORT

DO NOT REMOVE

PREMISES OWNER: Orcas Medical Center PERMIT NUMBER: 91045615

ELECTRICAL CONTRACTOR: Dallas APPROVED FOR COVER (Date) (Initial): _____

PREMISES ADDRESS: Mt Baker APPROVED FOR SERVICE (Date) (Initial): 11.27.91 BH

CITY: Eastsound APPROVED—FINAL INSPECTION (Date) (Initial): _____

AREAS NOT INSPECTED OR APPROVED:

Unfinished Basement Garage / Pump House

Unfinished Upstairs

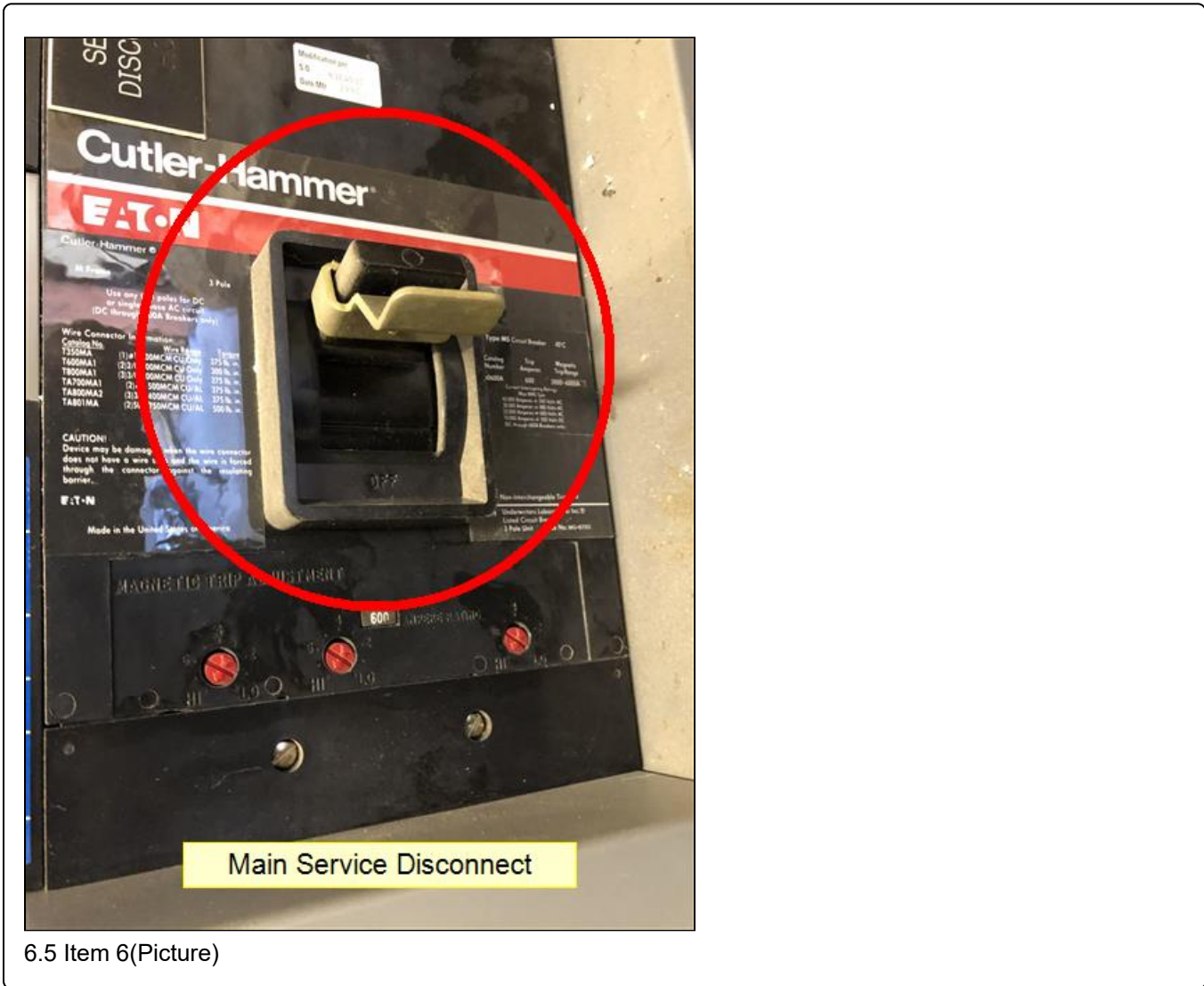
NOTES: 600 A UG Commercial

ELECTRICAL INSPECTOR: Bob Hansen

Nº 610492

F500-005-000 Inspection Report 7-86 -1026

6.5 Item 5(Picture)



6.5 Item 6(Picture)



6.5 Item 7(Picture)

6.6 CARBON MONOXIDE DETECTORS

Comments: Not Inspected

Inquire: I recommend verifying that the smoke/fire alarm system also detects carbon monoxide for improved safety.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Heating / Central Air Conditioning

As your home inspector, I will observe permanently installed heating and cooling systems including: heating equipment; cooling equipment that is central to home; normal operating controls; automatic safety controls; chimneys, flues, and vents, where readily visible; solid fuel heating devices; heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. I will describe: energy source; and heating equipment and distribution type. I will operate the systems using normal operating controls. I will also open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. Pursuant to our Agreement and the Standards of Practice, I am not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Heat Type: Heat Pump Forced Air (also provides cool air)	Energy Source: Electric	Number of Heat Systems (excluding wood): Four
Heat System Brand: AMERICAN STANDARD	Ductwork: Insulated	Filter Type: Cartridge Disposable
Types of Fireplaces: N/A	Number of Woodstoves: None	Cooling Equipment Type: Heat Pump Forced Air (also provides warm air)
Cooling Equipment Energy Source: Electricity	Central Air Manufacturer: AMERICAN STANDARD	Number of AC Only Units: None

Items

7.0 HEATING EQUIPMENT

Comments: Inspected

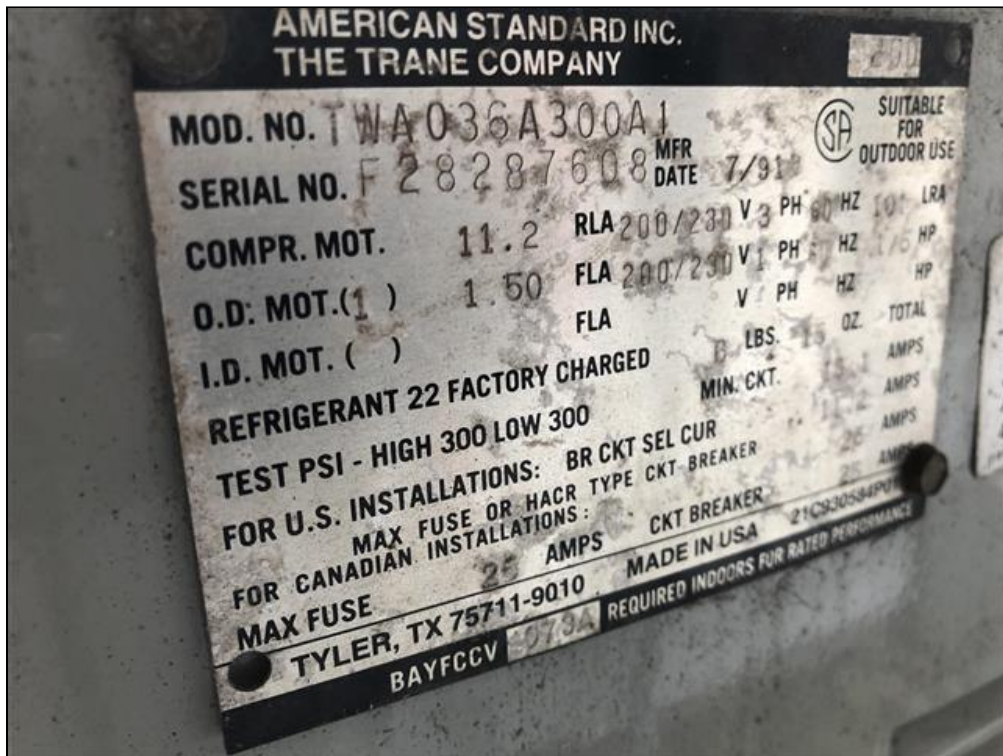
Major Issue: The four (4) American Standard heat pump heating/cooling systems, all original to the building (e.g., manufactured in 1991), are well beyond their statistical expected lives of 15-20 years. I highly recommend you have these appliances fully serviced prior to closing by a qualified HVAC contractor and that you budget for replacement, likely in the very near future. Additionally, concrete pads under some of the exterior compressor-condenser units appear sloped towards the building, where rusting/corroding metal flashing details were noted. See attached representative pictures, together with data plate information.



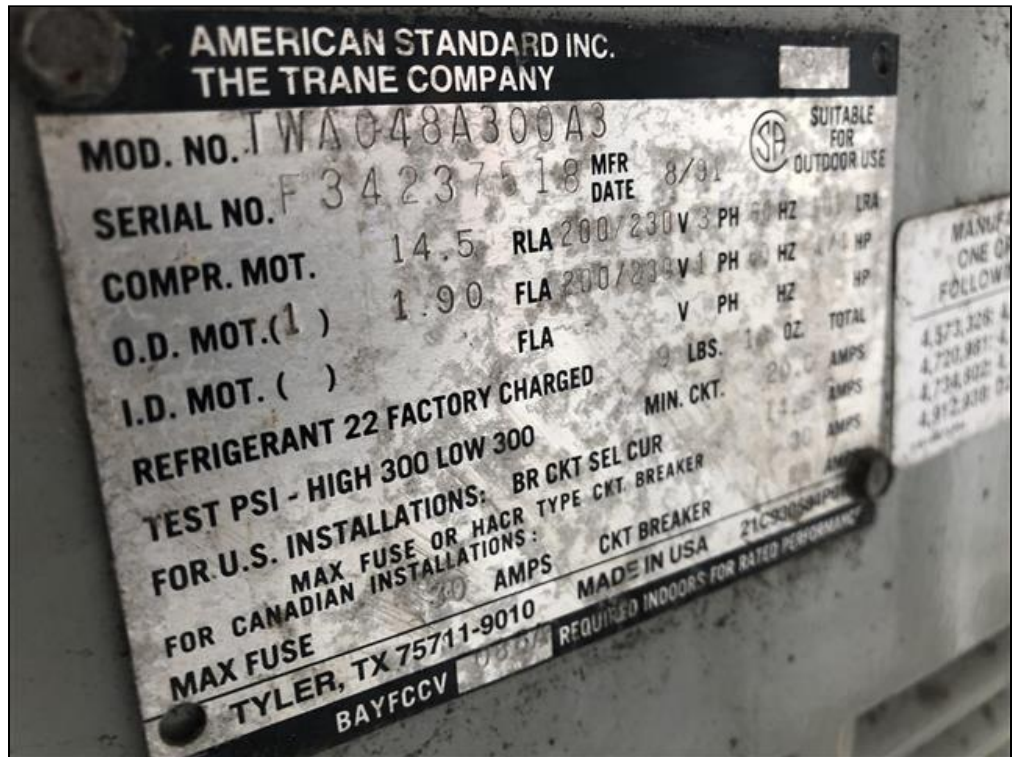
7.0 Item 1(Picture)



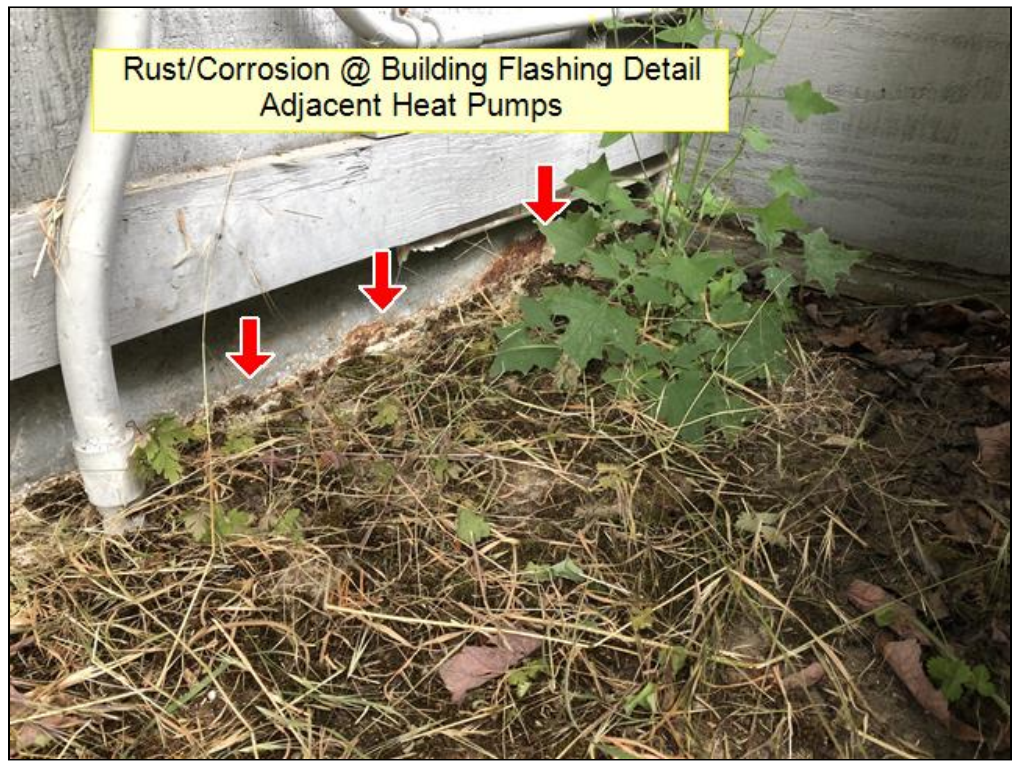
7.0 Item 2(Picture)



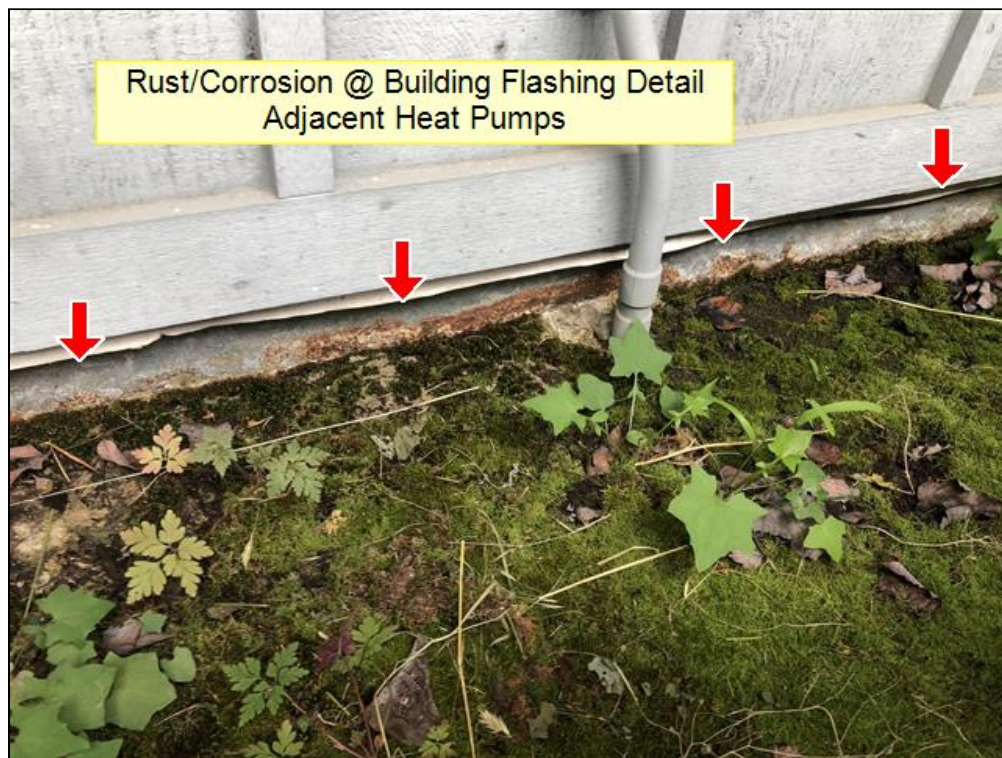
7.0 Item 3(Picture)



7.0 Item 4(Picture)



7.0 Item 5(Picture)



7.0 Item 6(Picture)

7.1 NORMAL OPERATING CONTROLS

Comments: Inspected

7.2 AUTOMATIC SAFETY CONTROLS

Comments: Not Inspected

7.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

7.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Not Present

7.5 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Not Present

7.6 GAS/LP FIRELOGS AND FIREPLACES

Comments: Not Present

7.7 COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected

7.8 NORMAL OPERATING CONTROLS

Comments: Inspected

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Insulation and Ventilation

During the course of the home inspection, I will observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. I will describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. I will also: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. Pursuant to our Agreement and the Standards of Practice, I am not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:

Batt
Fiberglass
R-30 or better

Ventilation:

Ridge vents
Soffit Vents

Exhaust Fans:

Bathroom(s)

Floor System Insulation:

Not Visible - Concrete Slab

Items

8.0 INSULATION IN ATTIC

Comments: Inspected

(1) This appears to be a well insulated and ventilated building, with insulation and ventilation levels commensurate for a building of this age and type of construction.

(2) **Improve:** Insulating and sealing (weather stripping) the attic access hatches is advised for much improved thermal efficiency and reduced heating/cooling costs.

(3) **Repair:** As stated previously, insulating exposed PEX water supply piping in the attic areas is advised to help safeguard against potential breakage during freezing weather conditions. Some of the attic PEX water supply piping is insulated, some pipes are not.

8.1 INSULATION UNDER FLOOR SYSTEM

Comments: Not Inspected

8.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected

8.3 VENTILATION OF ATTIC AND FOUNDATION AREAS

Comments: Inspected

8.4 VENTING SYSTEMS (Kitchens, baths and laundry)

Comments: Inspected

(1) **Repair:** The northern bathroom vent fan doesn't function; the switch has a sign indicating not to use. See attached pictures.



8.4 Item 1(Picture)



8.4 Item 2(Picture)

(2) **Repair:** The shower room vent fan ducting appears to discharge directly into the attic; while no signs of mold growth or elevated moisture were noted at the time of inspection, I recommend extending vent ducting to the exterior. See attached picture.



8.4 Item 3(Picture)

8.5 VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)

Comments: Not Present

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



All Islands Home Inspections

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

[Medical Center Spread Sheet](#)



All Islands Home Inspections

Tim M. Hance

Maintenance Advice

UPON TAKING OWNERSHIP

After taking possession of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements:

- θ Change the locks on all exterior entrances, for improved security.
- θ Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Consideration could also be given to a security system.
- θ Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- θ Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of fire.
- θ Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- θ Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- θ Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- θ Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- θ Install rain caps and vermin screens on all chimney flues, as necessary.
- θ Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attended the home inspection, these items would have been pointed out to you.

REGULAR MAINTENANCE

EVERY MONTH

- θ Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- θ Examine heating/cooling air filters and replace or clean as necessary.
- θ Inspect and clean humidifiers and electronic air cleaners.
- θ If the house has hot water heating, bleed radiator valves.
- θ Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.

- θ Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
- θ Repair or replace leaking faucets or shower heads.
- θ Secure loose toilets, or repair flush mechanisms that become troublesome.

SPRING AND FALL

- θ Examine the roof for evidence of damage to roof coverings, flashings and chimneys.
- θ Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- θ Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- θ Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- θ Survey the basement and/or crawl space walls for evidence of moisture seepage.
- θ Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- θ Ensure that the grade of the land around the house encourages water to flow away from the foundation.
- θ Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- θ Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood window frames. Paint and repair window sills and frames as necessary.
- θ Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- θ Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- θ Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- θ Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- θ Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- θ Replace or clean exhaust hood filters.
- θ Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

ANNUALLY

- θ Replace smoke detector batteries.
- θ Have the heating, cooling and water heater systems cleaned and serviced.
- θ Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- θ Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
- θ If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- θ If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventative treatments may be recommended in some cases.

PREVENTION IS THE BEST APPROACH

Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in

great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes.

Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!

WHEN THINGS GO WRONG

There may come a time that you discover something wrong with the house, and you may become upset or disappointed with your home inspection.

Intermittent or Concealed Problems

Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak during the inspection because we do not stand in the shower for several minutes while the water is running. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets were lifted, furniture is moved or finishes are removed. Unethical sellers will conceal known problems before the inspector comes in an effort to avoid getting asked to pay for repairing the problems.

No Clues

These problems may have existed at the time of the inspection but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We May Not Note Some Minor Things

Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. In purchasing the home we trust you made an on-site personal examination of the property prior to writing an offer and addressed issues you saw when writing the contract. The intent of the inspection is to find the larger issues that affect people's decisions to purchase

Contractors' Advice

The main source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement when we said that, with some minor repairs, the roof will last a few more years.

“Last Man In Theory”

While our advice often represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "Last Man In Theory". The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether the roof leak is his fault or not. Consequently, he won't want to do a minor repair with high liability when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most Recent Advice Is Best

There is more to the "Last Man In Theory". It suggests that it is human nature for homeowners to believe the last bit of "expert" advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "First Man In" and consequently it is our advice that is often disbelieved.

Why Didn't We See It

Contractors may say "I can't believe you had this house inspected, and they didn't find this problem". There are several reasons for these apparent oversights:

- 1. Conditions During Inspection:** It is difficult for homeowners to remember the circumstances in the house, at the time of the inspection. Homeowners seldom remember that it had not rained in days, there was furniture/ storage in the area or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- 2. The Wisdom Of Hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement or crawlspace is wet when there is 2 inches of water on the floor. Predicting the problem is a different story.
- 3. A Long Look:** If we spent 1/2 an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems too. Unfortunately, the inspection would take several days and would cost considerably more.
- 4. We're Generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do.
- 5. An Invasive Look:** Problems often become apparent when carpets, walls, ceilings, or insulation are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform any invasive or destructive tests.
- 6. Lack of Understanding:** Many contractors believe they know the scope of a home inspection even though they have never performed a home inspection. It is not unusual for a chimney sweep to clean a chimney, run a \$5,000.00 pipeline camera up the flue and say I can not believe the home inspector did not see the crack.
- 7. Other Considerations:** Most every profession has some unethical people. Unethical contractors will quickly blame the inspector, make you believe the inspector is liable, and attempt to talk you into an immediate repair. They often use fear to motivate you to make repairs right away knowing if they succeed in their efforts no one will be able to determine if the problem really existed or was as extensive as they claim, but they end up getting paid for a repair that may not have been necessary or nearly as expensive to correct.
- 8. Not Insurance:** In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

Inspection Agreement

This inspection was performed in accordance with and under the terms of a Pre-Inspection Agreement. The agreement was signed and agreed upon before the preparation of this report and a signed copy of the agreement is available upon request. An unsigned copy of the agreement may be attached to this report for your information or it may also be available on the home inspection company web site.